

ARGALL REAL ESTATE GROUP - FACADE PROJECT

RGD PROJECT # 22-0115

PROJECT LOCATION:
ARGALL REAL ESTATE GROUP
209 GOLD STREET
NEGAUNEE, MICHIGAN 49866
 OWNER / CLIENT:
ARGALL REAL ESTATE GROUP
NEGAUNEE, MICHIGAN 49866

ZONING

UPDATED 09.08.2022



VICINITY MAP



PROJECT LOCATION
 209 GOLD STREET
 NEGAUNEE, MICHIGAN

CODE SUMMARY -SEE SHEET A0.3 FOR ADDL INFORMATION

APPLICABLE CODES:
 2015 MICHIGAN BUILDING CODE (MBC)
 2015 MICHIGAN MECHANICAL CODE
 2015 MICHIGAN PLUMBING CODE
 2015 MICHIGAN ELECTRICAL CODE
 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 MICHIGAN BARRIER FREE CODE

BUILDING OCCUPANCY TYPE:
 VS EXISTING MIXED USE (B) BUSINESS AND (R-2) RESIDENTIAL

CONSTRUCTION TYPE:
 NOT SPRINKLED

SPRINKLER SYSTEM:
 6A

CLIMATE ZONE:
 6

OCCUPANT LOAD:
 OCCUPANT LOAD OF 500 OR LESS = 2 EXITS
 OCCUPANT LOAD OF 501-1,000 = 3 EXITS
 OCCUPANT LOAD OF 1,001+ = 4 EXITS

EXITS (SECTION 1021):
 32-53-010-064-00
 01 TL COVER PAUL 32' X 100' (LIFTING LOT)
 TOTAL EXISTING EXITS 3 BUILDING FOOTPRINT
 BUILDING COVERAGE EXISTING BUILDING FOOTPRINT

PARCEL / PROPERTY #:
 53-53-010-064-00

SITE DATA:

LOCATION MAP



SCOPE OF WORK

EXTERIOR UPDATES TO HISTORIC FACADE / LOCK-POINTING BRICK / SILL REPAIR / REMOVAL OF EXISTING WINDOW SILL AND TOUGHEN GLASS ENHANCEMENT
 INTERIOR RENOVATION OF EXISTING BUILDING TO BUSINESS USE, INCLUDING UPDATING WINDOWS DOORS, ACCESSIBILITY, MEP AND FINISHES

PROJECT TEAM

ARCHITECT:
 RGD DESIGN COMPANY
 333 WEST WASHINGTON STREET
 SUITE 200
 OFFICE PHONE: 508.273.1941

CONTACT: JASON OR DAX

CONTRACTOR:
 1 B D

OWNER / CLIENT:
 ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 NEGAUNEE, MICHIGAN 49866

CONTACT: BEN
 EMAIL: BEN@ARGALLREALESTATE.COM



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A5.100 EXTERIOR STAIR AND RAMP

MECHANICAL DRAWINGS

TITLE PROVIDED BY ARCHITECT / DATE: N.W.V

PLUMBING DRAWINGS

TITLE PROVIDED BY ARCHITECT / DATE: N.W.V

ELECTRICAL DRAWINGS

TITLE PROVIDED BY ARCHITECT / DATE: N.W.V



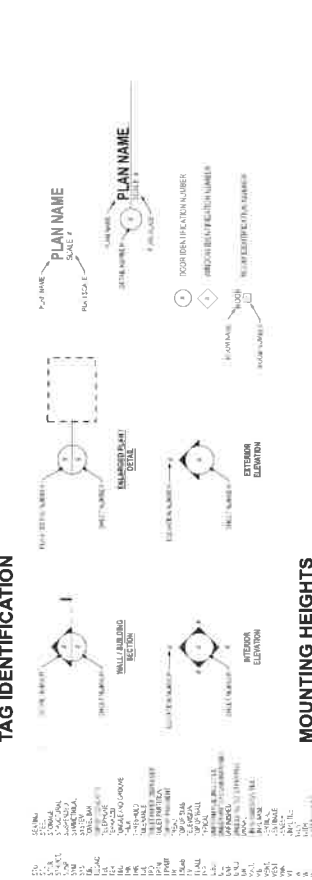
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3	ISSUE FOR PERMIT	09/08/2022
4	ISSUE FOR PERMIT	09/08/2022
5	ISSUE FOR PERMIT	09/08/2022
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7	ISSUE FOR PERMIT	09/08/2022
8	ISSUE FOR PERMIT	09/08/2022
9	ISSUE FOR PERMIT	09/08/2022
10	ISSUE FOR PERMIT	09/08/2022

ARCHITECTURE
PROJECT MANAGEMENT
DESIGN

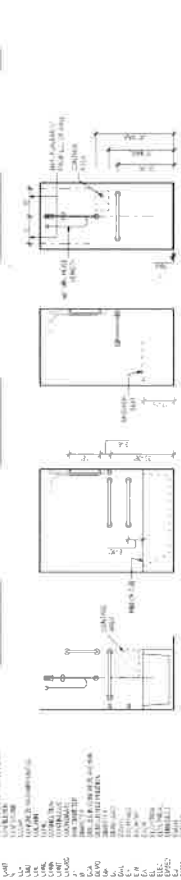
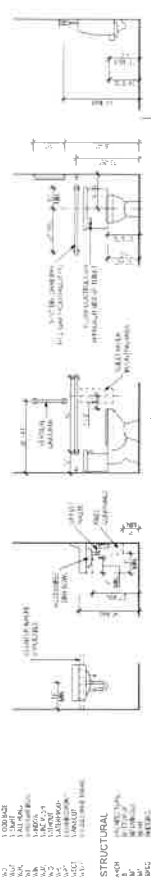
ARGALL REAL ESTATE GROUP
209 GOLD STREET
NEARBY MICHIGAN 49866

NO.	DATE	DESCRIPTION
1	05/11/19	ISSUED FOR PERMITS
2	05/11/19	ISSUED FOR PERMITS
3	05/11/19	ISSUED FOR PERMITS
4	05/11/19	ISSUED FOR PERMITS
5	05/11/19	ISSUED FOR PERMITS

TAG IDENTIFICATION



MOUNTING HEIGHTS



ABBREVIATIONS:

NO.	DESCRIPTION
1	ACCEL
2	ADJ
3	ADJUST
4	ADJUSTABLE
5	ADJUSTMENT
6	ADJUSTMENT SCREW
7	ADJUSTMENT SCREW
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GENERAL NOTES:

- ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- ALL MATERIALS SHALL BE STORED PROPERLY TO PREVENT DAMAGE.
- ALL WORK SHALL BE PROTECTED FROM DAMAGE BY OTHER TRADES.
- ALL WORK SHALL BE CLEANED UP AFTER INSTALLATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.
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- ALL WORK SHALL BE PROTECTED FROM DAMAGE BY OTHER TRADES.
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- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.
- ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

GENERAL DEMO NOTES:

- ALL MATERIALS TO BE REMOVED SHALL BE IDENTIFIED BY THE ARCHITECT AND Labeled WITH A DEMO TAG.
- ALL DEMO WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- ALL DEMO WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S REQUIREMENTS.
- ALL DEMO WORK SHALL BE PROTECTED FROM DAMAGE BY OTHER TRADES.
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SCOPE OF WORK - SECOND FLOOR

CHANGE OF USE FROM R3 TO B
 NEW DOORS
 NEW WINDOWS
 NEW PARTITION WALLS
 NEW PARTITION WALLS
 NEW PARTITION WALLS



2 SCALE 1/8" = 1'-0"

SCOPE OF WORK - MAIN FLOOR

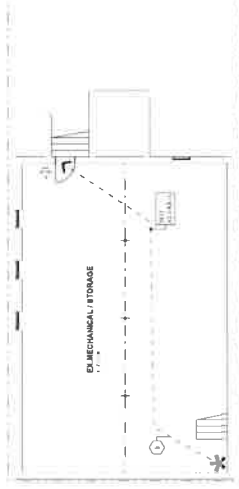
EXISTING BUSINESS USE
 NEW DOORS
 NEW DOORS
 ADA RAMP AND STAIR WERT ENTRANCE
 NEW ENTRANCE
 NEW INTERIOR FINISHES
 ADA TOILET IN MAIN
 ELEVATOR WALK THROUGH TO UPPER LEVELS



1 SCALE 1/8" = 1'-0"

SCOPE OF WORK - BASEMENT

EXISTING BUSINESS USE
 NEW DOOR
 NEW DOOR



3 SCALE 1/8" = 1'-0"

CODE REVIEW

CODES:
 2015 MINNESOTA STATE BUILDING CODE (MSB)
 2015 INTERNATIONAL BUILDING CODE (IBC) WITH STATE
 ADAPTATIONS
 2015 MINNESOTA ELECTRICAL CODE
 2015 MINNESOTA MECHANICAL CODE
 2015 MINNESOTA PLUMBING CODE

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MINNESOTA STATE BUILDING CODE (MSB) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC) WITH STATE ADAPTATIONS.

OCCUPANCY TYPE:
 B1 - BUSINESS USE

BUILDING CONSTRUCTION TYPE (STRUCTURE):
 TYPE III - MASONRY EXTERIOR WALLS AND CONCRETE OR Gypsum CORE

TRAFFIC AND EGRESS:
 MEANS OF EGRESS SHALL BE PROVIDED IN ACCORDANCE WITH THE 2015 MINNESOTA STATE BUILDING CODE (MSB) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC) WITH STATE ADAPTATIONS. MEANS OF EGRESS SHALL BE PROVIDED IN ACCORDANCE WITH THE 2015 MINNESOTA STATE BUILDING CODE (MSB) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC) WITH STATE ADAPTATIONS.

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LIFE SAFETY & CODE LEGEND

E	EXISTING
NEW	NEW
REPAIR	REPAIR
REMOVE	REMOVE
RELOCATE	RELOCATE
ADJUST	ADJUST
REPLACE	REPLACE
UPGRADE	UPGRADE
REINFORCE	REINFORCE
REPAIR AND REPLACE	REPAIR AND REPLACE
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CODE REVIEW KEYNOTES:

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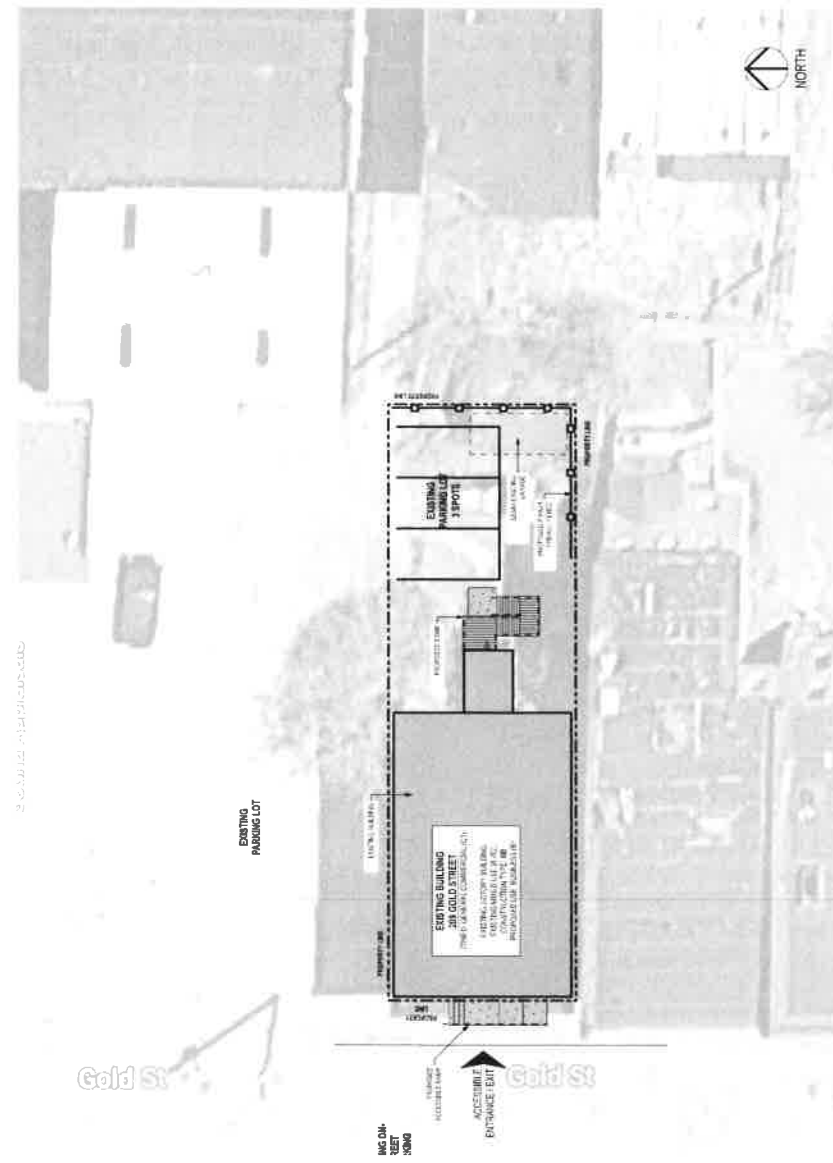
ARCHITECTURE
 INTERIOR DESIGN
 PROJECT MANAGEMENT

design

RGAL REAL ESTATE GROUP
 209 GOLD STREET
 NEGAUNEE MICHIGAN 49666

RGAL REAL ESTATE GROUP • BUILDING RENOVATION
 1820 22-015

RG DESIGN COMPANY
 222 W. WASHINGTON STREET
 MARGUETTE, MI 49655
 P: 906.272.1041
 WWW.RG-DESIGN.CO

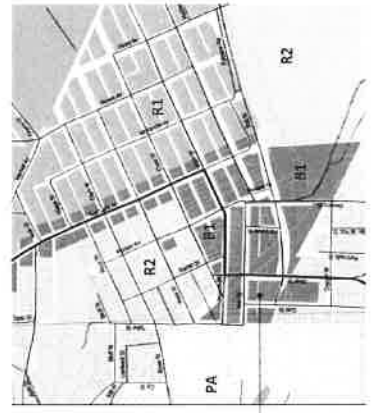


1 ARCHITECTURAL SITE PLAN
SCALE 1/8" = 1'-0"

GENERAL SITE NOTES:
ALL PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ZONING ORDINANCES.

ZONING / SITE ANALYSIS

ZONING DISTRICT:	208 GOLD STREET BUSINESS 1 (B-1) EXISTING
LOT:	EXISTING BUILDING EXISTING BUILDING EXISTING BUILDING EXISTING BUILDING EXISTING BUILDING
MAX. BUILDING HEIGHT:	EXISTING BUILDING AND APARTMENT ALL BUSINESS (B)
MIN. FRONT SETBACK (R):	EXISTING 3,000 ± TOTAL SQUARE FEET (BASEMENT, FIRST AND SECOND FLOORS)
MIN. SIDE SETBACK (R):	
MIN. REAR SETBACK:	
EXISTING BUILDING USE:	
PROPOSED BUILDING USE:	
PROPOSED BUILDING AREA (MIN. FLOOR):	
PARKING COUNT:	
REARSET 1 PROPOSED	



PROJECT LOCATION
AND SURROUNDING
ZONES (B-1)



ARGALL REAL ESTATE GROUP • BUILDING RENOVATION
 1500 W. WASHINGTON STREET
 ANN ARBOR, MI 48106-1500
 TEL: 734.769.1234
 FAX: 734.769.1235

ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 NEGAWEE MICHIGAN 49665
 TEL: 268.411.1111
 FAX: 268.411.1112

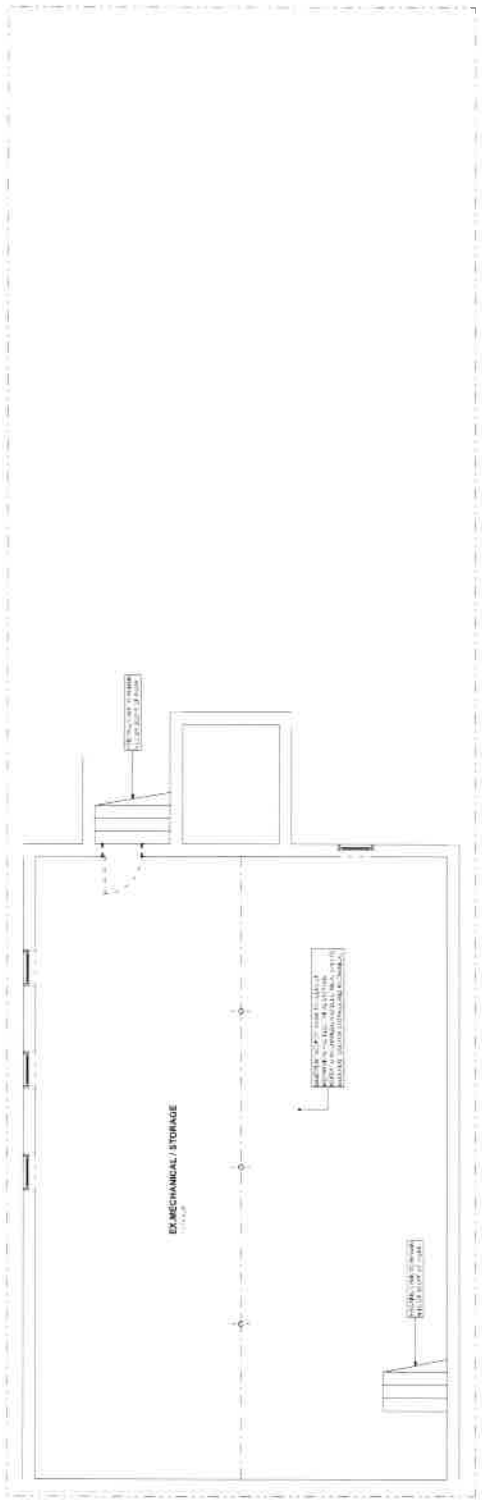
ARCHITECTURE
 INTERIOR DESIGN
 PROJECT MANAGEMENT
 design

RC DESIGN COMPANY
 233 N. WASHINGTON ST.
 ANN ARBOR, MI 48106
 TEL: 734.769.1234
 FAX: 734.769.1235

RC DESIGN COMPANY
 233 N. WASHINGTON ST.
 ANN ARBOR, MI 48106
 TEL: 734.769.1234
 FAX: 734.769.1235

DEMO PLAN KEYNOTES:

1. DEMO PLAN INDICATES AREAS TO BE DEMOLISHED.
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GENERAL DEMO NOTES:

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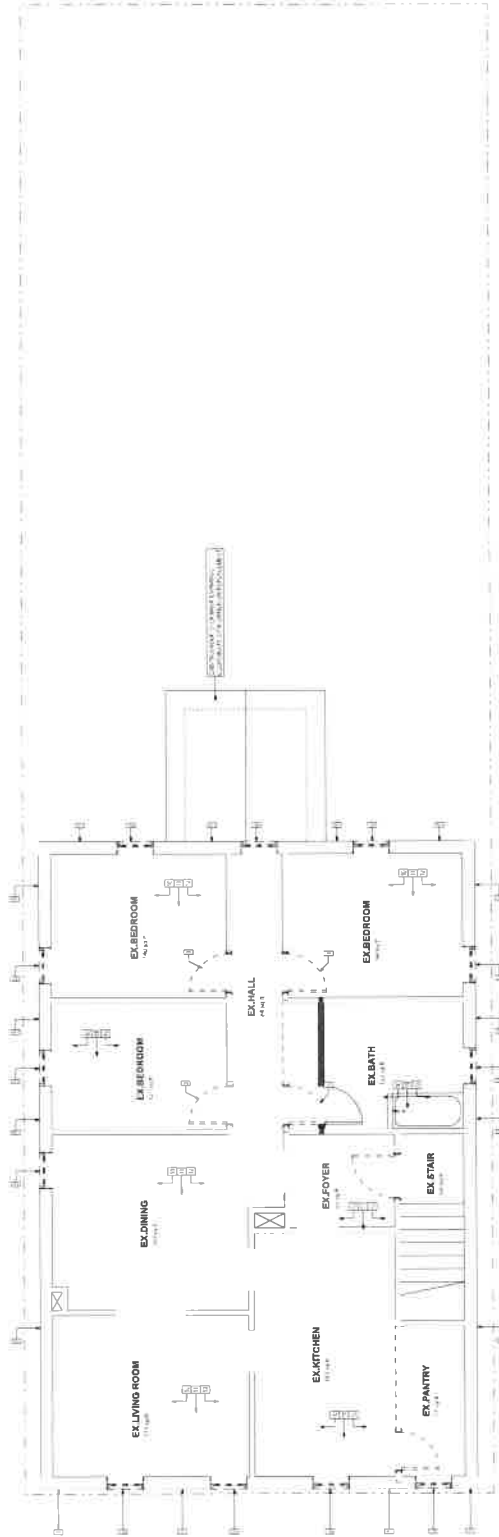
BASEMENT EXISTING / DEMO PLAN
SCALE: 1/8" = 1'-0"

DEMO PLAN KEYNOTES:

1. DEMO ALL EXISTING CEILING AND ALL EXISTING LIGHT FIXTURES.
2. DEMO ALL EXISTING WALLS AND PARTITION WALLS.
3. DEMO ALL EXISTING FLOORING AND PARTITION WALLS.
4. DEMO ALL EXISTING DOORS AND PARTITION WALLS.
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RG DESIGN COMPANY
 352 N. WASHINGTON ST.
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ARGALL REAL ESTATE GROUP - BUILDING RENOVATION
 209 GOLD STREET
 NEGAUNEE MICHIGAN 49866



2 SECOND FLOOR DEMO PLAN
 SCALE: 1/4" = 1'-0"

GENERAL DEMO NOTES:

1. DEMO ALL EXISTING CEILING AND ALL EXISTING LIGHT FIXTURES.
2. DEMO ALL EXISTING WALLS AND PARTITION WALLS.
3. DEMO ALL EXISTING FLOORING AND PARTITION WALLS.
4. DEMO ALL EXISTING DOORS AND PARTITION WALLS.
5. DEMO ALL EXISTING CASES AND PARTITION WALLS.
6. DEMO ALL EXISTING PARTITION WALLS AND PARTITION WALLS.
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ARCHITECTURE
 INTERIOR DESIGN
 PROJECT MANAGEMENT

design

SECOND FLOOR EXISTING / DEMO PLAN

NO.	DATE	DESCRIPTION
1	10/15/2020	ISSUED FOR PERMIT
2	10/15/2020	ISSUED FOR PERMIT
3	10/15/2020	ISSUED FOR PERMIT
4	10/15/2020	ISSUED FOR PERMIT
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20	10/15/2020	ISSUED FOR PERMIT

REV	DATE	DESCRIPTION
1	10/11/18	ISSUED FOR PERMITS
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8	10/11/18	ISSUED FOR PERMITS
9	10/11/18	ISSUED FOR PERMITS
10	10/11/18	ISSUED FOR PERMITS



ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 NEWBURGH MICHIGAN 49866

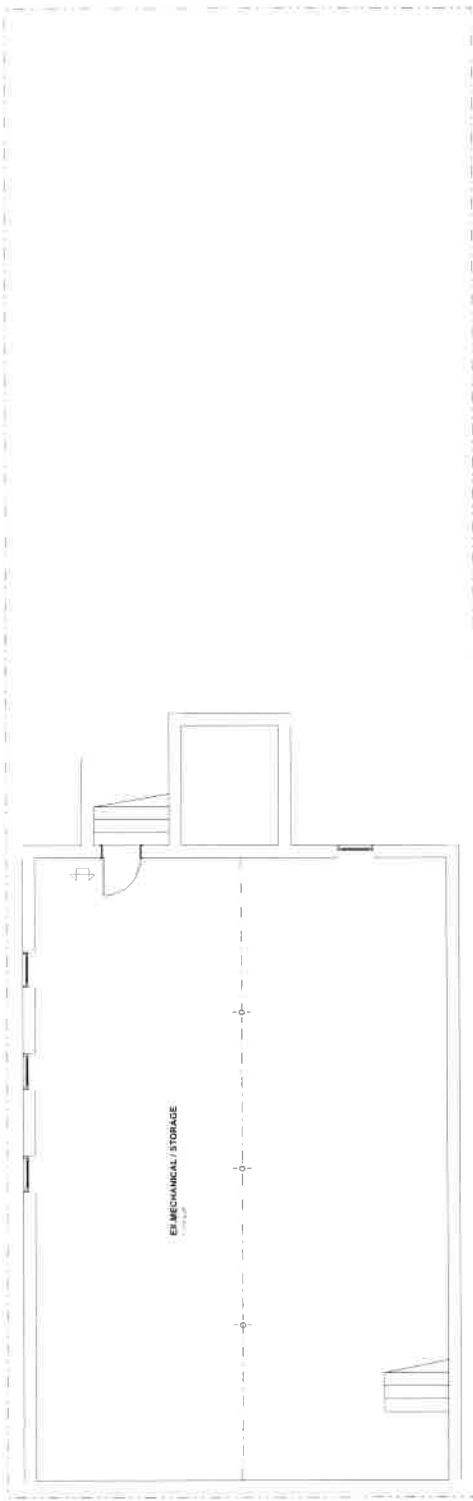
ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 NEWBURGH MICHIGAN 49866

ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 NEWBURGH MICHIGAN 49866

DEIGN ARCHITECTURE
 INTERIOR DESIGN
 PROJECT MANAGEMENT

DEIGN ARCHITECTURE
 INTERIOR DESIGN
 PROJECT MANAGEMENT

DEIGN ARCHITECTURE
 INTERIOR DESIGN
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DEMO PLAN KEYNOTES:

1. REMOVE EXISTING CONCRETE FLOOR SLAB.
2. REMOVE EXISTING CONCRETE WALLS.
3. REMOVE EXISTING CONCRETE STAIRS.
4. REMOVE EXISTING CONCRETE FLOOR SLAB.
5. REMOVE EXISTING CONCRETE WALLS.
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12. REMOVE EXISTING CONCRETE STAIRS.
13. REMOVE EXISTING CONCRETE FLOOR SLAB.
14. REMOVE EXISTING CONCRETE WALLS.
15. REMOVE EXISTING CONCRETE STAIRS.

BASEMENT PLAN
 SCALE: 1/8" = 1'-0"

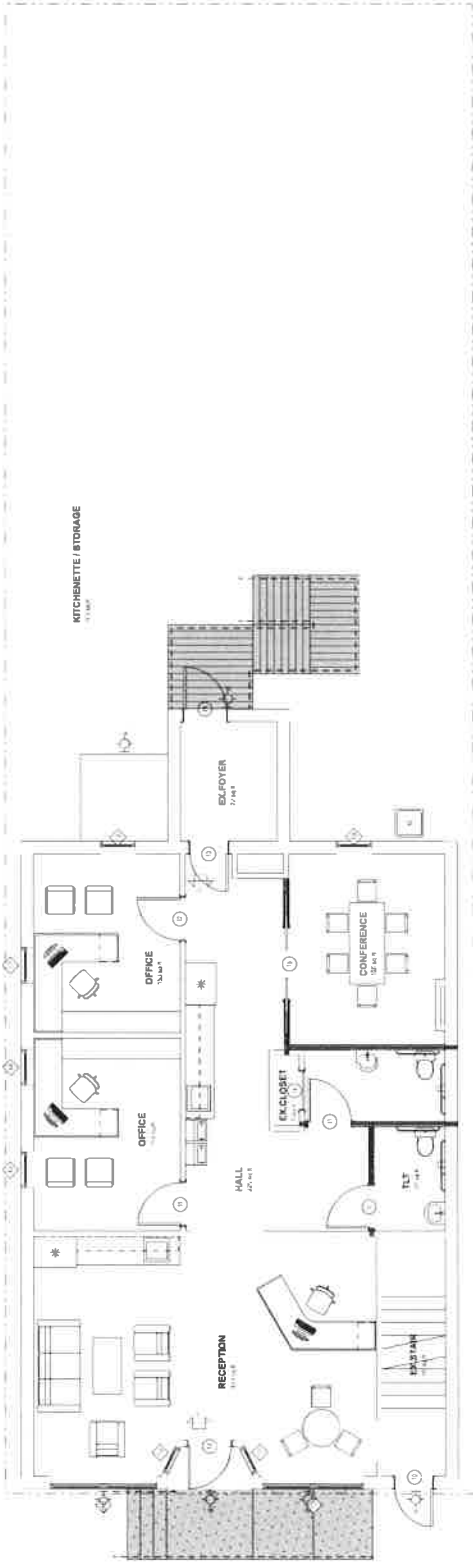
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2	01/22/17	REVISIONS
3	02/02/17	REVISIONS
4	02/03/17	REVISIONS
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6	02/08/17	REVISIONS
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19	02/08/17	REVISIONS
20	02/08/17	REVISIONS

DATE PLOTTED: 01/15/17
 PLOT SCALE: 1/8" = 1'-0"
 PLOT SHEET: A2.1

ARCHITECTURE
 INTERIOR DESIGN
 PROJECT MANAGEMENT


ARGALL REAL ESTATE GROUP • BUILDING RENOVATION
 #EED 22-015
 ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 WARREN MICHIGAN 49066

RG DESIGN COMPANY
 535 N. WASHINGTON ST.
 MARQUETTE, MI 49855
 P: 906.273.1041
 WWW.RG-DESIGN.COM



① MAIN FLOOR (1)
 SCALE: 1/8" = 1'-0"

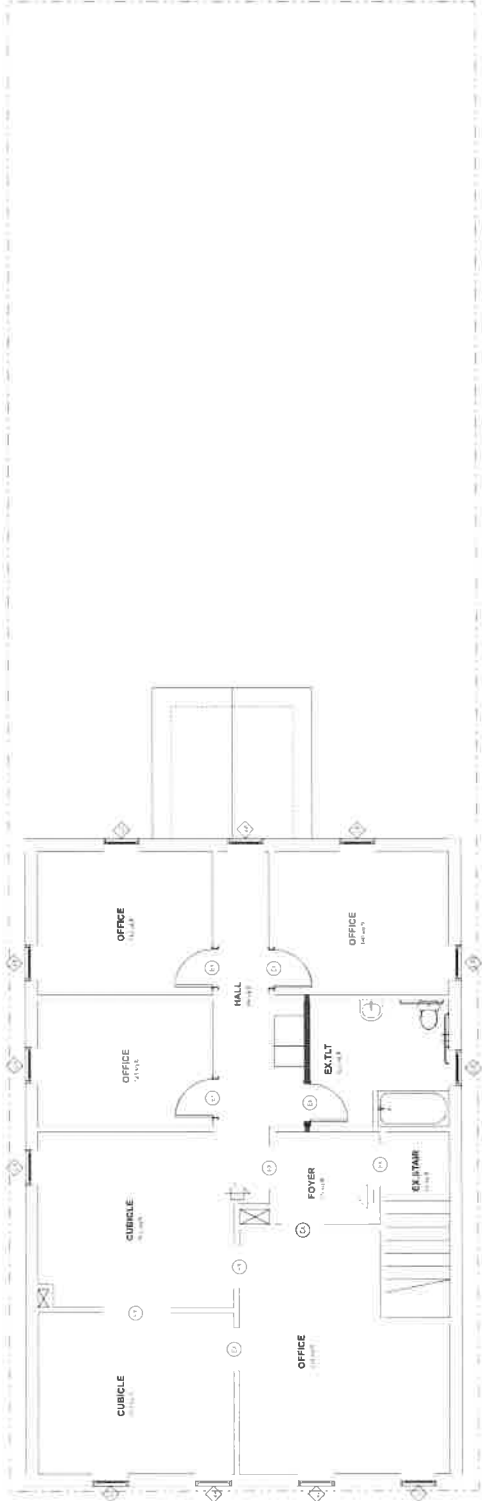
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8	ISSUE FOR CONSTRUCTION	08/11/10
9	ISSUE FOR CONSTRUCTION	08/11/10
10	ISSUE FOR CONSTRUCTION	08/11/10



ARCHITECTURE
INTERIOR DESIGN
PROJECT MANAGEMENT

ARGALL REAL ESTATE GROUP - BUILDING RENOVATION
REC'D 22-035
ARGALL REAL ESTATE GROUP
209 GOLD STREET
REGAUNEE MICHIGAN 49866

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MHM, RG-DESIGN.CO



1 SECOND FLOOR PLAN



ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 KENOSHA WISCONSIN 53140

NO.	DATE	DESCRIPTION
1	1/11/17	ISSUED FOR PERMITS
2	1/11/17	ISSUED FOR PERMITS
3	1/11/17	ISSUED FOR PERMITS
4	1/11/17	ISSUED FOR PERMITS
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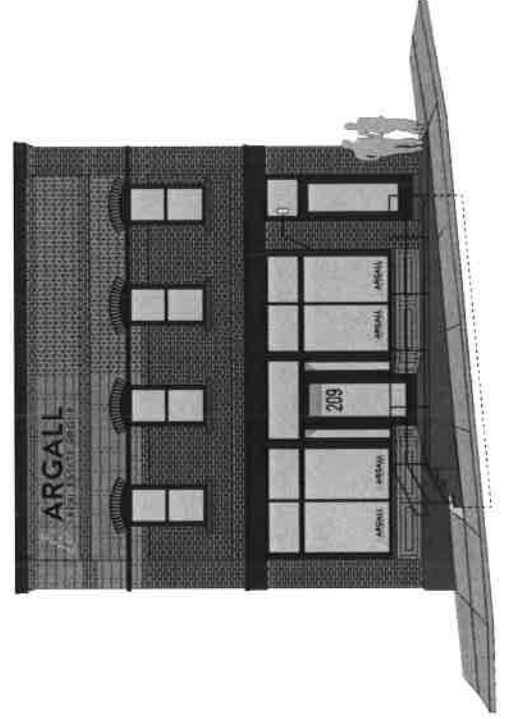
ARGALL REAL ESTATE GROUP - BUILDING RENOVATION
 1/11/2017 10:00 AM

ARGALL REAL ESTATE GROUP
 209 GOLD STREET
 KENOSHA WISCONSIN 53140

RG DESIGN COMPANY
 233 N. WASHINGTON ST.
 MARQUETTE, MI 49855
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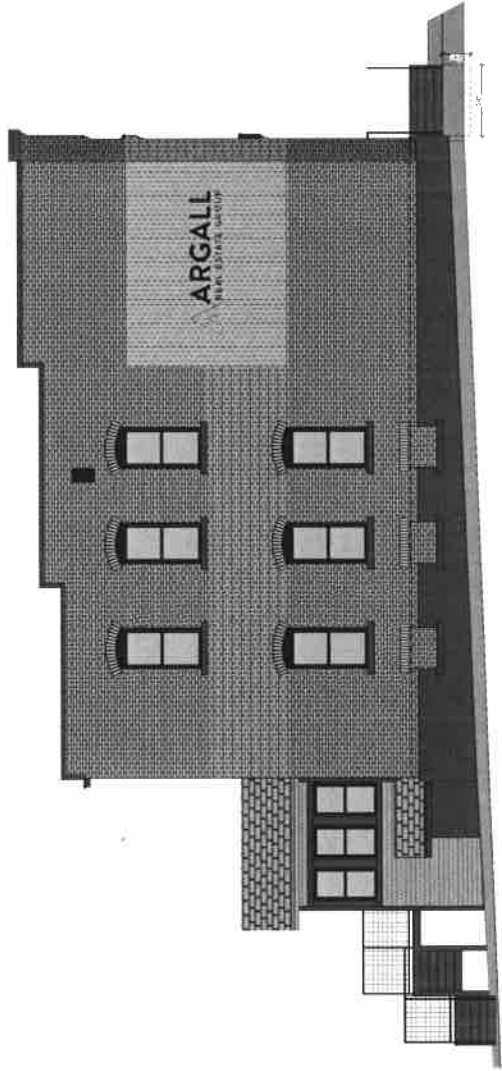
1 WEST EXISTING / DEMO ELEVATION (GOLD STREET)
 SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION (GOLD STREET)
 SCALE: 1/8" = 1'-0"



1 WEST EXISTING / DEMO ELEVATION (GOLD STREET)
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION (GOLD STREET)
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	10/15/18	ISSUED FOR PERMITS
2	11/15/18	ISSUED FOR CONSTRUCTION
3	01/15/19	ISSUED FOR OCCUPANCY
4	03/15/19	ISSUED FOR FINAL
5	05/15/19	ISSUED FOR ARCHIVE



ARCHITECTURE
INTERIOR DESIGN
PROJECT MANAGEMENT

ARGALL REAL ESTATE GROUP
209 GOLD STREET
ANN ARBOR, MICHIGAN 48106

ARGALL REAL ESTATE GROUP + BUILDING RENOVATION
1800 22-035

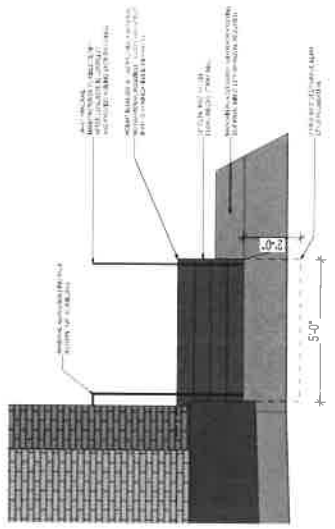
RC DESIGN COMPANY
333 N. WASHINGTON ST.
MARQUETTE, MI 49855
P: 906.273.1001
WWW.RC-DESIGN.CO

NO.	REV.	DATE	DESCRIPTION
01	01	06/10/15	ISSUED FOR PERMIT
02	01	06/10/15	ISSUED FOR PERMIT
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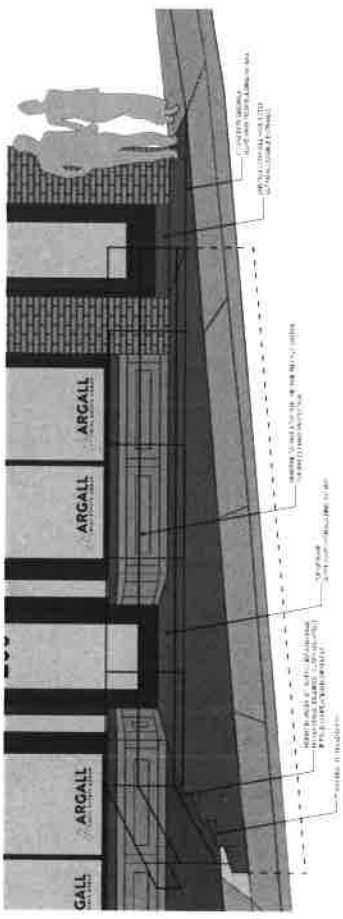


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 ANN ARBOR, MICHIGAN 48106
 PHONE: 734.769.1000
 FAX: 734.769.1001
 WWW.ARGALL-RE.COM

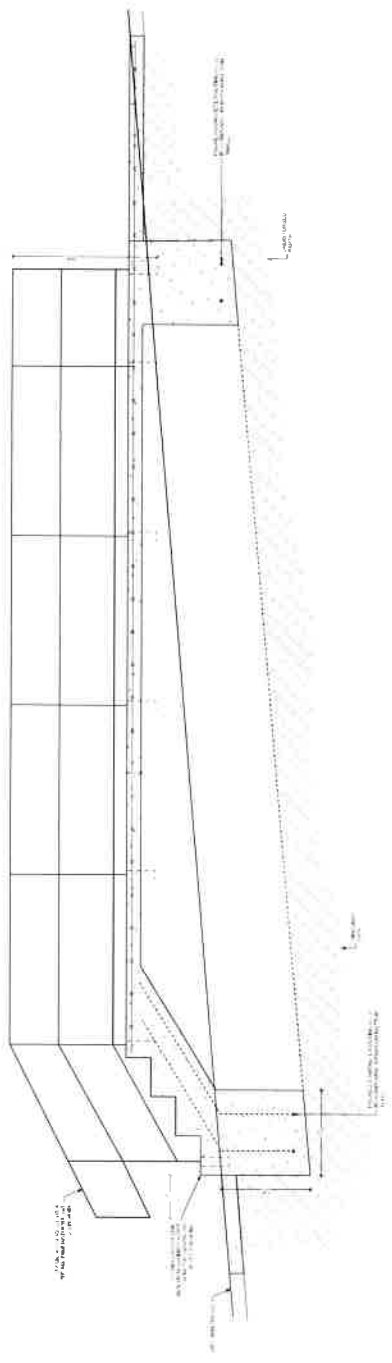
RD DESIGN COMPANY
 335 N. WASHINGTON ST.
 MARQUETTE, MI 49855
 PHONE: 616.232.1000
 FAX: 616.232.1001
 WWW.RD-DESIGN.COM



1 SITE STAIR NORTH ELEVATION DETAIL
 SCALE: 1/8" = 1'-0"



2 RAMP DETAIL WEST ELEVATION DETAIL
 SCALE: 1/8" = 1'-0"



3 STANDARD FOOTING DETAILS
 SCALE: 1/8" = 1'-0"